

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: October 12, 2020

Item: Erik's Bike Shop, 950 1st Street – Construction of a 7,500 square foot retail bike store – EBS Property Iowa, L.C.C. – SP-004852-2020

Requested Action: Recommend Approval of a Site Plan

Case Advisor: Brian Portz, AICP

Applicant's Request: The applicant, EBS Property Iowa, LLC, d/b/a Erik's Bikes, is requesting approval of a site plan to construct an approximately 7,500 square foot retail bike store on the property. Erik's Bike Shop is moving from its current location at 301 Grand Avenue to this site because of the future widening of Grand Avenue. This will cause the need for removal of the existing Erik's building that is located within the expanded right-of-way of Grand Avenue.

History: The subject property was originally right-of-way for Ashworth Road along with City owned property adjacent to the railroad tracks. The Ashworth Road right-of-way was vacated in 1971. A plat of survey was approved on May 18, 2020 to allow the transfer of ownership of the property to the applicant. On October 5, 2020, the City Council approved a rezoning of the property to create the Erik's Bikes Planned Unit Development (PUD) for the actual development of the site.

City Council Subcommittee: This item was presented to the Development & Planning City Council Subcommittee at their September 21, 2020 meeting, as an informational item only. No discussion was had and no disagreement with the proposal was expressed.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff would summarize the following key points of interest:

- **Shared Access/Parking:** Access to the site will be via an east/west street south of Val Lanes and north of Casey's that will be constructed by the City. This street is proposed to be constructed as a part of the Grand Avenue widening project to provide alternative east/west accesses to the properties north of Grand Avenue. Access to the site from Ashworth Road will be via a shared access drive with Val Lanes. A signed cross access/parking easement has been provided to allow for shared access and parking between Val Lanes and the proposed Erik's Bikes building.
- **Building Architecture:** Staff worked with Erik's Bikes to develop architectural designs which capture the design intent of the Val-Gate District. The area within the Val-Gate District saw the majority of its original development in the 1950's. There are three major styles of architecture related to this period of development (Mid-Century Modern, Roadside Architecture and "Doo Wop" or "Googie"). To build on and reinforce the context of this area and create a neighborhood identity that recognizes its history, all buildings within the Grand Avenue Redevelopment Plan shall include elements of these architectural styles in their building design. The intent is not to create period reproductions of the 1950's buildings, but to incorporate the forms and elements representative of the 1950's building design within the design of new structures. As one architectural style may be more appropriate for different

building types and functions, the Developer has the flexibility to select which architectural style would be the best fit for their development. The applicant has chosen Doo Wop/Google architecture for this project.

Doo Wop/Google designs typical of the mid-century era reflected a new focus of fun, space travel and flight with the use of bright colors, bold patterns and shapes that expressed movement. The applicant has proposed the following elements in their recognition of Doo Wop/Google architectural style: the main building mass is clad with a bold large format checkerboard pattern and the two secondary building masses are clad in a bright red color. The larger secondary mass has a slanted side wall to convey movement and the entry canopy has a wraparound streamlined design, repeating the forms indicative of space travel and flight.

- **Streetscape:** The Grand Avenue Redevelopment Plan identifies the streetscape intent for the Val-Gate district and includes vegetation, furniture, and ornamental stone wall screening elements as illustrated in the Grand Avenue Redevelopment Plan. This streetscape is intended to provide desired green to the City, reinforce a district identity, provide visual screening of parking and other negative site elements, bring human scale to adjoining buildings and provide traffic calming benefits. This landscaped edge with hardscape elements or 'streetscape' will be provided along both 1st Street and Ashworth Road.
- **Water Main Easements:** For the development of this property, a new fire hydrant will be installed in the northeast corner of the parking lot from the main water line along 1st Street. Service to the proposed building will also be from the main line along 1st Street. In addition, the water service line to the bowling alley crosses this site. Water main easements will be needed for all of these pipes. The applicant has supplied legal descriptions for these easements that Water Works will enter into their easement template for the applicant's signature. The signed easement documents shall be submitted prior to City Council approval of the Erik's Bikes site plan. A condition of approval is recommended requiring this.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.

4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation and Conditions of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Erik's Bike Shop site plan to allow construction of an approximately 7,500 square foot retail bike store, subject to the applicant meeting all City Code requirements and the following:

1. The applicant shall submit signed water main easement documents to West Des Moines Water Works prior to City Council approval of the site plan.

Property Owners:

EBS Property Iowa, LLC
9201 Penn Avenue, Suite 1
Bloomington, MN 55431
erik@erikbikeshop.com

Applicant's Representatives:

Appro Development
21476 Grenada Avenue
Lakeville, MN 55044
benp@approdevelopment.com

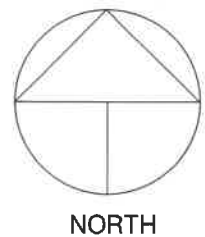
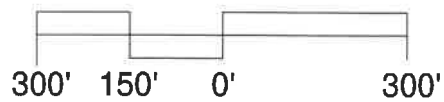
ATTACHMENTS:

Attachment A -	Location Map
Attachment B -	Site Plans**
Attachment C -	Building Elevations**
Attachment D -	Plan and Zoning Commission Resolution
Exhibit A -	Conditions of Approval

**Plans and building elevations included in staff report are for illustrative purposes only – Approved plans on file with the City.



1 LOCATION MAP
A6-0 1" = 300'-0"



ERIK'S BIKES
WEST DES MOINES, IA
9-8-2020



ERIK'S BIKE SHOP - WEST DES MOINES

PROJECT MANAGER:
RYAN ANDERSON
ISG
7900 INTERNATIONAL DRIVE, SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952-426-0699

PROPERTY OWNER:
ERIK SALTVOED
9201 PENN AVENUE, SUITE 1
BLOOMINGTON, MN 55431
PHONE: 612.418.1157

APPLICANT:
BEN PETERS
APPRO DEVELOPMENT
21476 GRENADA AVENUE
LAKEVILLE, MN 55044
PHONE: 952.469.2171

UTILITY PROVIDERS	
TYPE	CONTACT INFO
WATER	WEST DES MOINES WATER WORKS WILLIAM MABUCE 515-252-3510
SANITARY	WRA JASON MERK 515-323-6123
STORM	WEST DES MOINES 515-222-3480
GAS	MIDAMERICAN ENERGY 515-252-6632
ELECTRIC	MIDAMERICAN ENERGY 515-252-6632
TELEPHONE	CENTURYLINK 720-576-8090

SEAL	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. DEREK A. JOHNSON
PRINTED SIGNATURE	10/07/2020
SIGNATURE	SIGNATURE DATE
12/31/2021	REGISTRATION EXPIRES
SHEETS COVERED BY THIS SEAL ALL	

LEGAL DESCRIPTION OF PARCEL "2016-66" (BK 17854, PG 339)

PART OF THE VACATED ASHWORTH ROAD RIGHT OF WAY AND PART OF LOT 6, MURROWDALE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF LOT 2, MC CURRIN PLACE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA; THENCE NORTH 89 DEGREES 33 MINUTES 08 SECONDS EAST, 283.54 FEET ON THE SOUTH LINE OF SAID LOT 2 TO THE INTERSECTION OF THE SOUTH LINE OF SAID LOT 2 AND THE WEST RIGHT OF WAY LINE OF VACATED ASHWORTH ROAD; THENCE NORTH 19 DEGREES 21 MINUTES 41 SECONDS WEST, 52.85 FEET ON THE WEST RIGHT OF WAY LINE OF VACATED ASHWORTH ROAD TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 19 DEGREES 21 MINUTES 41 SECONDS WEST, 340.56 FEET ON THE WEST RIGHT OF WAY LINE OF VACATED ASHWORTH ROAD TO A POINT; THENCE SOUTH 89 DEGREES 51 MINUTES 00 SECONDS EAST, 92.61 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF THE NORFOLK SOUTHERN RAILWAY; THENCE SOUTH 43 DEGREES 15 MINUTES 37 SECONDS EAST 145.83 FEET ON THE WEST RIGHT OF WAY LINE OF THE NORFOLK SOUTHERN RAILWAY TO A POINT 60.00 FEET WEST OF AND MEASURED PERPENDICULAR TO THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M.; THENCE SOUTH 0 DEGREES 05 MINUTES 00 SECONDS EAST, 214.38 FEET ON A LINE PARALLEL TO AND 60.00 FEET WEST OF THE EAST LINE OF SAID
NORTHWEST QUARTER OF SECTION 11; THENCE SOUTH 89 DEGREES 33 MINUTES 08 SECONDS WEST, 79.82 FEET ON A LINE PARALLEL TO AND 50.00 FEET NORTH OF SAID LOT 2, MC CURRIN PLACE TO THE POINT OF BEGINNING CONTAINING 0.89 ACRES, MORE OR LESS.

PROJECT ADDRESS / LOCATION:

950 1ST STREET

PARCEL "2016-66", SECTION 11, T-78N,
R-25W, WALNUT TYP, POLK COUNTY

WEST DES MOINES, IOWA

SITE SUMMARY			
EXISTING ZONING:	N/A		
EXISTING LAND USE:	CMC, COMMUNITY COMMERCIAL (PER CITY OF WEST DES MOINES COMPREHENSIVE PLAN)		
EXISTING SITE/LOT AREA:	38,364 SQ. FT / 0.88 AC.		
EXISTING IMPERVIOUS AREA:	14,147.5 SQ. FT / 0.325 AC. (37%)		
EXISTING GREENSPACE:	24,216.5 SQ. FT / 0.556 AC. (63%)		
PROPOSED ZONING:	PUD-ERIK'S BIKE SHOP		
PROPOSED LAND USE:	CMC, COMMUNITY COMMERCIAL (PER CITY OF WEST DES MOINES COMPREHENSIVE PLAN)		
PROPOSED SITE/LOT AREA:	38,364 SQ. FT / 0.88 AC.		
PROPOSED IMPERVIOUS AREA:	24,974.5 SQ. FT / 0.57 AC. (65%) (REQUIRED 75% MAXIMUM)		
GREENSPACE PROVIDED:	13,389.5 SQ. FT / 0.31 AC. (35%) (REQUIRED 25% MINIMUM)		
PARKING REQUIREMENTS (PER CITY CODE)			
TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
9'X19' (17' IF GREEN SPACE ABUTS STALL)	3.5 SPACES / 1000 SF	22	30
TOTAL:			30
SETBACKS (ESTABLISHED WITH PUD)			
	PARKING	BUILDING	
FRONT YARD			
SIDE YARD			
REAR YARD			

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "IOWA ONE CALL" FOR UTILITY LOCATIONS, MINIMUM 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (1-800-292-8989).
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES BEN MCALISTER 222-3475 TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- APPLICANT SHOULD BE MADE AWARE ANY SIGNING, STRIPING OR OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO PUBLIC STREETS SHOULD CONFORM TO THE (MUTCD) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (FEDERAL HIGHWAY ADMINISTRATION, 2009 EDITION). A NOTE SHALL BE PROVIDED ON THE SITE PLAN INDICATING THIS.

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF WEST DES MOINES REQUIREMENTS, THE CITY OF WEST DES MOINES WATER WORKS (WDMWW) SPECIFICATIONS, AND WITH THE 2020 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) FOR CONSTRUCTION, AND CURRENT VERSION OF THE PLUMBING CODE OF IOWA UNLESS DIRECTED OTHERWISE.

LEGEND

EXISTING	
---	CITY LIMITS
---	SECTION LINE
---	QUARTER SECTION LINE
---	RIGHT OF WAY LINE
---	PROPERTY / LOTLINE
---	EASEMENT LINE
---	ACCESS CONTROL
---	WATER EDGE
---	WETLAND BOUNDARY
---	WETLAND / MARSH
---	FENCE LINE
---	CULVERT
---	STORM SEWER
---	SANITARY SEWER
---	SANITARY SEWER FORCEMAIN
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	UNDERGROUND TV
---	OVERHEAD UTILITY
---	UNDERGROUND UTILITY
---	UNDERGROUND FIBER OPTIC
---	CONTOUR (MAJOR)
---	CONTOUR (MINOR)
---	DECIDUOUS TREE
---	CONIFEROUS TREE
---	TREE LINE
---	MANHOLE/STRUCTURE
---	CATCH BASIN
---	HYDRANT
---	VALVE
---	CURB STOP
---	POWER POLE
---	UTILITY PEDESTAL / CABINET
PROPOSED	
---	LOT LINE
---	RIGHT OF WAY
---	EASEMENT
---	CULVERT
---	STORM SEWER
---	STORM SEWER (PIPE WIDTH)
---	SANITARY SEWER
---	SANITARY SEWER (PIPE WIDTH)
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TV
---	CONTOUR
---	MANHOLE
---	CATCH BASIN
---	HYDRANT
---	VALVE

CIVIL SHEET SET

- C0-10 SITE DATA SHEET
- C0-20 SITE DETAILS
- C0-21 SITE DETAILS
- C0-22 SITE DETAILS
- C1-10 EROSION & SEDIMENT CONTROL NOTES & DETAILS
- C1-20 TEMPORARY EROSION & SEDIMENT CONTROL PLAN
- C2-10 EXISTING SITE & REMOVAL PLAN
- C3-10 SITE PLAN
- C3-20 UTILITY PLAN
- C3-21 HYDRANT COVERAGE
- C4-10 GRADING PLAN
- C5-10 SITE RESTORATION & PLANTING PLAN
- C5-11 PLANTING NOTES & DETAILS
- C6-10 PHOTOMETRIC PLAN

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), ZONE 8, ON THE IOWA REGIONAL COORDINATE SYSTEM. IN U.S. SURVEY FEET, ELEVATIONS HAVE BEEN REFERENCED TO THE CITY OF WEST DES MOINES DATUM. RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN JUNE 2020 BY ISG.

THE BENCHMARKS USED FOR THE BASIS OF THE ELEVATIONS SHOWN HEREON ARE CITY OF WEST DES MOINES BENCHMARK NUMBERS 049 AND 079. BENCHMARK NUMBER 049 HAS ELEVATION = 38.35, FOUND AT NE CORNER OF 4TH AND VINE STREET, 50 FEET EAST OF 4TH STREET CENTERLINE, 50 FEET NORTH OF VINE STREET CENTERLINE. BENCHMARK NUMBER 079 HAS ELEVATION = 119.81, FOUND AT NW CORNER OF 8TH STREET AND ASHWORTH ROAD, 90.5 FEET WEST OF 8TH STREET CENTERLINE, 32.3 FEET NORTH OF ASHWORTH ROAD CENTERLINE.

ATTACHMENT B



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PROJECT

ERIK'S BIKE SHOP

WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
08/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
08/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

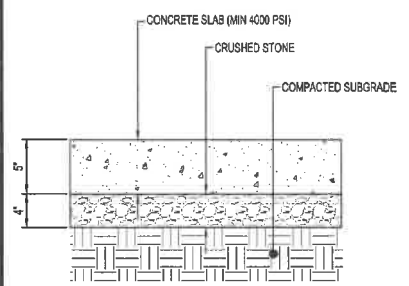
PROJECT NO.	20-24266
FILE NAME	24266 C0-DETAILS
DRAWN BY	ARA
DESIGNED BY	ARA
REVIEWED BY	RAJ/DAJ
ORIGINAL ISSUE DATE	10/07/20
CLIENT PROJECT NO.	-

TITLE

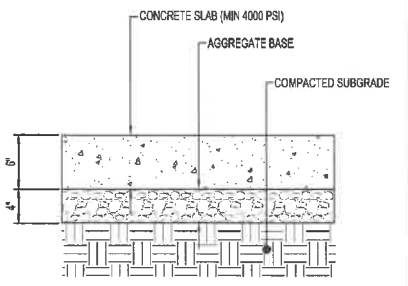
SITE DATA SHEET

SHEET

C0-10



STANDARD
CONCRETE PAVEMENT
NTS



HEAVY DUTY
CONCRETE PAVEMENT
NTS

BEDDING CLASSES

ALLOWABLE BURY DEPTH:

DUCTILE IRON AWWA C151 CLASS 50				PVC AWWA C900 & C905 DR18			
Pipe Diameter (inches)	Class P-1 Bedding	Class P-2 Bedding	Class P-3 Bedding	Pipe Diameter (inches)	Class P-1 Bedding	Class P-2 Bedding	Class P-3 Bedding
4	40	40	40	4	19	22	40
6	40	40	40	6	19	22	40
8	40	40	40	8	19	22	40
10	39	40	40	10	19	22	40
12	31	40	40	12	19	22	40
14	29	40	40	14	19	22	40
16	23	37	40	16	19	22	40
18	29	34	40	18	19	22	40
20	19	32	40	20	19	22	40
24	19	29	38	24	19	22	40
30	17	27	31				
36	17	22	30				
42	17	21	29				
48	19	19	27				
54	19	19	27				

REINFORCED CONCRETE ARCH AND ELLIPTICAL PIPE BEDDING

ALLOWABLE BURY DEPTH

CLASS B-1				CLASS B-2				CLASS B-3			
Pipe Diameter (inches)	Class B-1 Bedding	Class B-2 Bedding	Class B-3 Bedding	Pipe Diameter (inches)	Class B-1 Bedding	Class B-2 Bedding	Class B-3 Bedding	Pipe Diameter (inches)	Class B-1 Bedding	Class B-2 Bedding	Class B-3 Bedding
12	12	12	12	12	12	12	12	12	12	12	12
18	12	12	12	18	12	12	12	18	12	12	12
24	12	12	12	24	12	12	12	24	12	12	12
30	12	12	12	30	12	12	12	30	12	12	12
36	12	12	12	36	12	12	12	36	12	12	12
42	12	12	12	42	12	12	12	42	12	12	12
48	12	12	12	48	12	12	12	48	12	12	12
54	12	12	12	54	12	12	12	54	12	12	12

RIGID AND VCP PIPE BEDDING

REINFORCED CONCRETE ARCH AND ELLIPTICAL PIPE BEDDING

RIGID GRAVITY PIPE TRENCH BEDDING

ALLOWABLE BURY DEPTH

CLASS B-1				CLASS B-2				CLASS B-3			
Pipe Diameter (inches)	Class B-1 Bedding	Class B-2 Bedding	Class B-3 Bedding	Pipe Diameter (inches)	Class B-1 Bedding	Class B-2 Bedding	Class B-3 Bedding	Pipe Diameter (inches)	Class B-1 Bedding	Class B-2 Bedding	Class B-3 Bedding
12	12	12	12	12	12	12	12	12	12	12	12
18	12	12	12	18	12	12	12	18	12	12	12
24	12	12	12	24	12	12	12	24	12	12	12
30	12	12	12	30	12	12	12	30	12	12	12
36	12	12	12	36	12	12	12	36	12	12	12
42	12	12	12	42	12	12	12	42	12	12	12
48	12	12	12	48	12	12	12	48	12	12	12
54	12	12	12	54	12	12	12	54	12	12	12

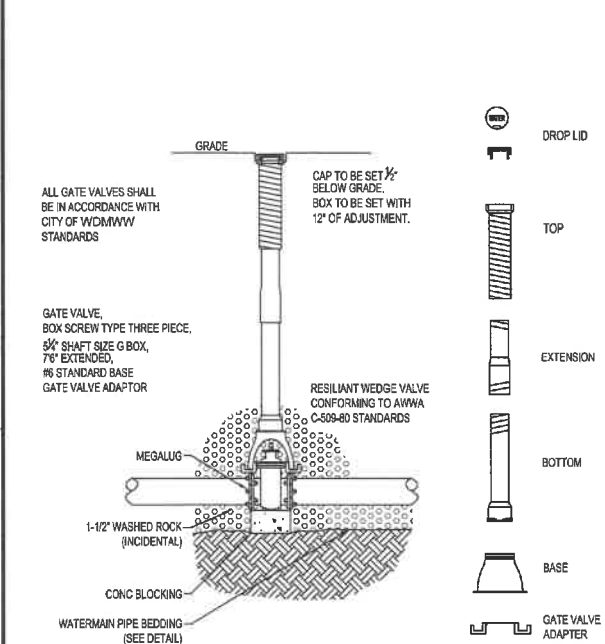
EXTRA STRENGTH VCP

Pipe Diameter (inches)	Class B-1 Bedding	Class B-2 Bedding	Class B-3 Bedding
12	12	12	12
18	12	12	12
24	12	12	12
30	12	12	12
36	12	12	12
42	12	12	12
48	12	12	12
54	12	12	12

CONCRETE AND VCP

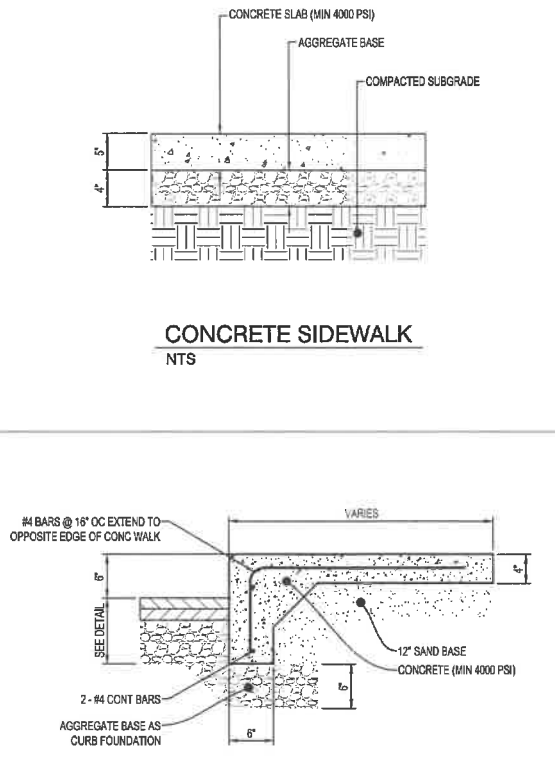
Pipe Diameter (inches)	Class B-1 Bedding	Class B-2 Bedding	Class B-3 Bedding
12	12	12	12
18	12	12	12
24	12	12	12
30	12	12	12
36	12	12	12
42	12	12	12
48	12	12	12
54	12	12	12

RIGID GRAVITY PIPE TRENCH BEDDING

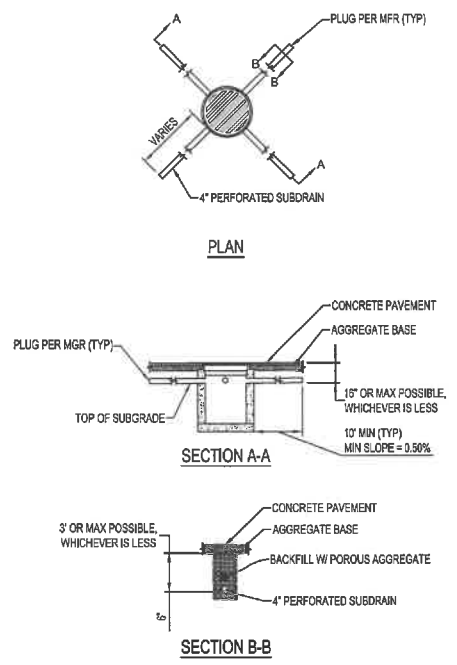


NOTES:
INSTALL TOP NUT EXTENDER TO 7" DEPTH ON ALL VALVES WITH OVER-DEPTH

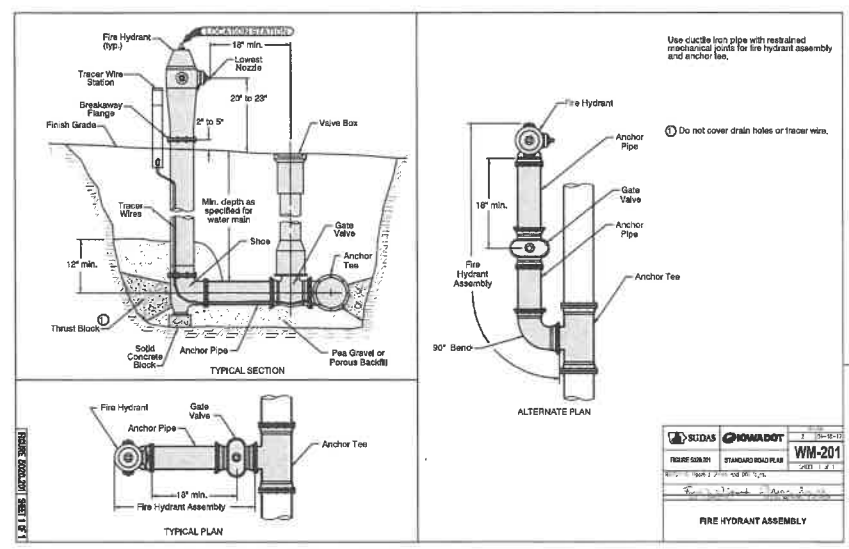
TYPICAL
GATE VALVE & BOX INSTALLATION
NTS WM200



TURN DOWN
CONCRETE SIDEWALK
NTS ST170



STORM SEWER SUBDRAIN
NTS SD900



FIRE HYDRANT ASSEMBLY

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ERIK'S BIKE SHOP WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

DATE	ISSUE SCHEDULE	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
08/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
08/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

DATE	REVISION SCHEDULE	BY

PROJECT NO. 20-24266
FILE NAME 24266 C0-3-DETAILS
DRAWN BY ARA
DESIGNED BY ARA
REVIEWED BY RJADAJ
ORIGINAL ISSUE DATE
CLIENT PROJECT NO.

TITLE

SITE DETAILS



N.T.S.



PROJECT

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	20-24266
FILE NAME	24266 C0-3-DETAILS
DRAWN BY	ARA
DESIGNED BY	ARA
REVIEWED BY	RJA/DAJ
ORIGINAL ISSUE DATE	-/-/-
CLIENT PROJECT NO.	-

SITE DETAILS

CO-21



- ① 6" Standard Curb, 6" Sloped Curb, or Sloped Curb as specified.
- ② $\frac{1}{2}$ " if Proposed Pavement is HMA. No elevation difference if Proposed Pavement is PCC.
- ③ "BT", "KT", or "L" joint if Proposed Pavement is PCC. "B" joint if Proposed Pavement is HMA.



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PROJECT

ERIK'S BIKE SHOP WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

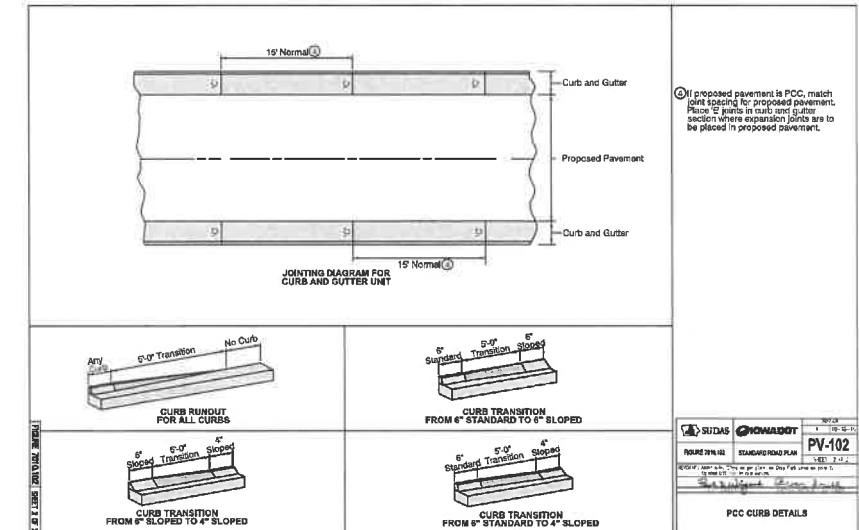
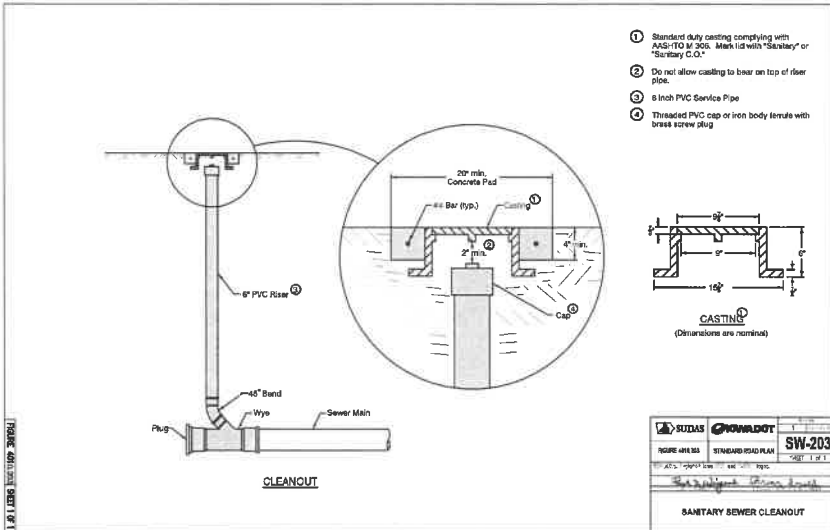
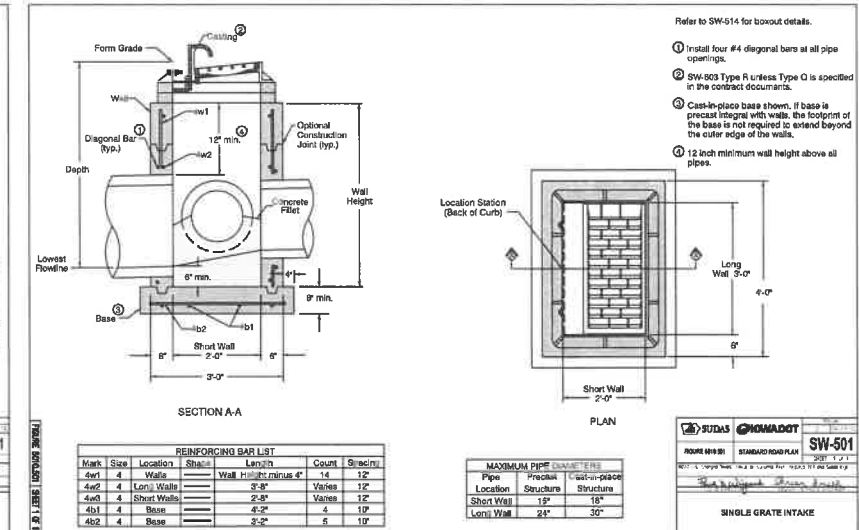
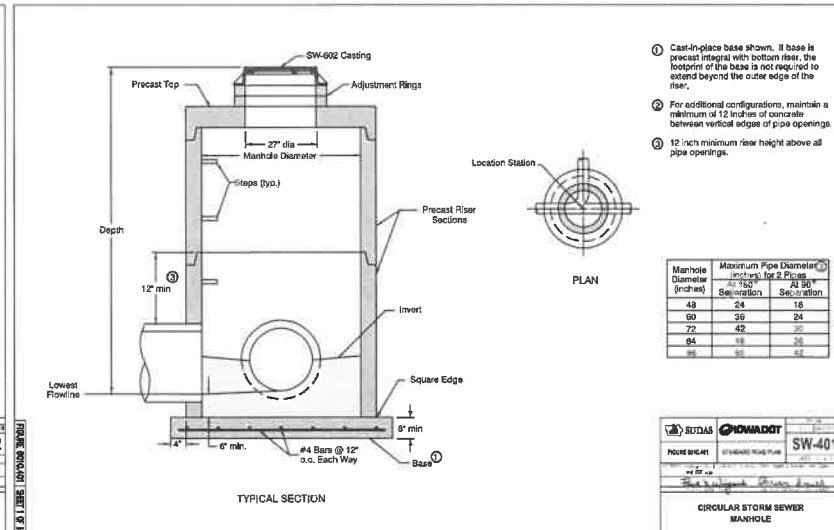
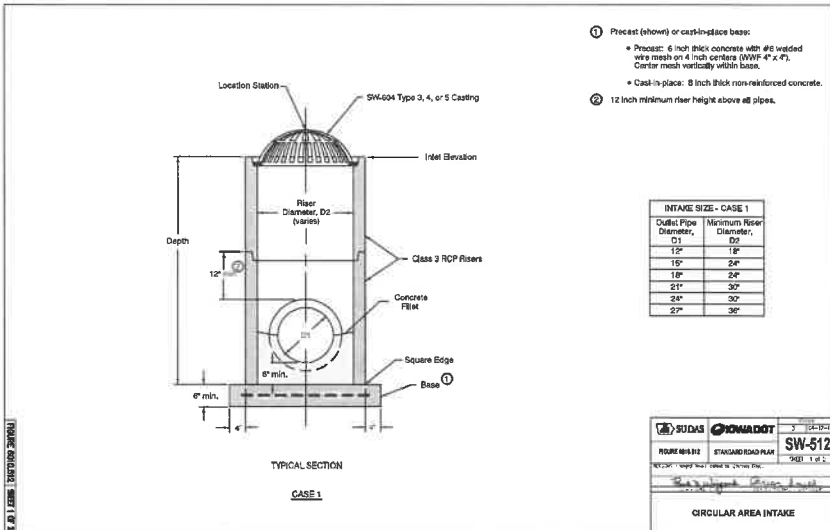
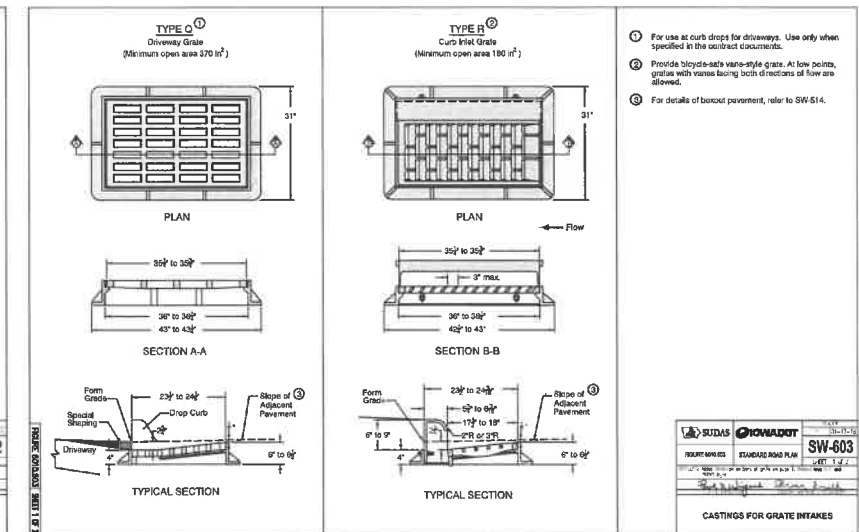
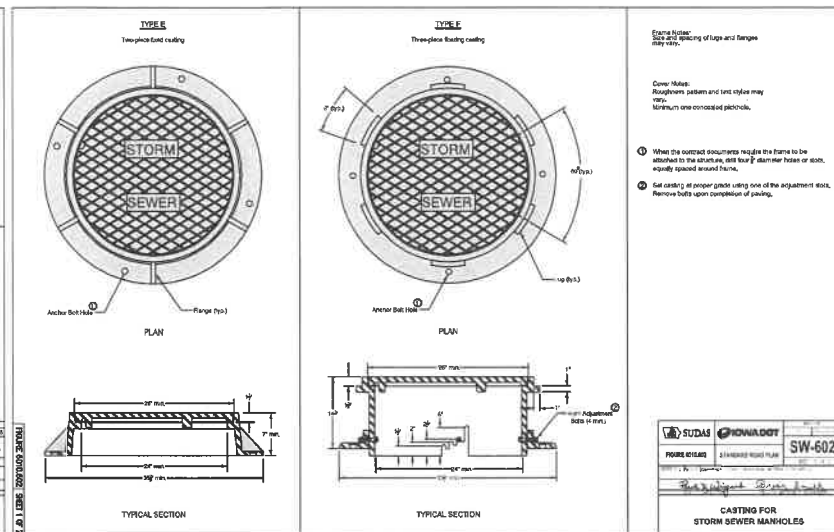
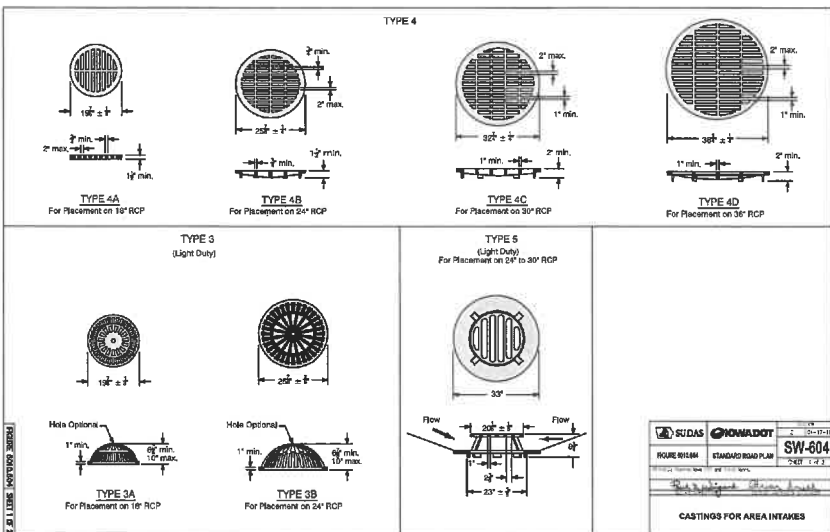
PROJECT NO. 20-24266
FILE NAME 24266 CD-3-DETAILS
DRAWN BY ARA
DESIGNED BY ARA
REVIEWED BY RJV/DAJ
ORIGINAL ISSUE DATE 10/10/20
CLIENT PROJECT NO. -

TITLE

SITE DETAILS

SHEET

C0-22



CONSTRUCTION ACTIVITY NOTES:

EROSION PREVENTION:

Construction of silt fence and all other erosion control measures shall be complete before other construction activity occurs.

Use phased construction wherever practical and establish turf as soon as possible to minimize sediment transport.

Turf establishment or temporary seeding or mulching of all exposed soil not being actively worked should be immediately initiated once earth disturbing activities have ceased. Temporary cover during construction is incidental.

Pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours after connection to a surface water.

Stabilization of disturbed areas must be initiated immediately whenever any clearing, grading, excavating, or other earth disturbing activities have permanently ceased on any portion of the site or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days.

SEDIMENT CONTROL PRACTICES:

Construction of silt fence and all other erosion control measures shall be complete prior to land disturbing activities occur.

Inlet erosion protection shall be installed and maintained until turf has been established.

The contractor shall be responsible to control erosion from leaving the construction zone. All eroded material that leaves the construction zone shall be collected by the contractor and returned to the site at the contractor's expense.

All streets must be swept at the end of each working day and prior to a rain event. Silt fence or other effective erosion control measures must be installed around the perimeter of any soil stockpiles, including temporary stockpiles. Stockpiles cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.

Perimeter control shall be installed along the back of curb immediately following curb installation at all locations with positive drainage to parking lot and/or streets, and shall remain until stabilization is achieved. This shall be accomplished through the use of silt fence, biorolls, Rock logs, or other methods approved by the Engineer.

CONSTRUCTION ACTIVITY NOTES:

DEWATERING AND BASIN DRAINING:

Dewater sediment-laden water to sedimentation basins if possible, or use other BMP's to prevent erosion and remove sediment when discharging to surface waters. Use appropriate energy dissipation measures on all discharges.

Dewatering practices cannot cause nuisance conditions, erosion or in receiving channels or inundation of wetlands resulting in adverse impacts.

POLLUTION PREVENTION:

All solid waste collected from the construction site must be disposed in accordance with all applicable regulations.

All hazardous materials (oil, gasoline, fuel, paint, etc) must be properly stored to prevent spills, leaks or other discharge, storage areas shall provide secondary containment and a hazardous materials spill kit. Storage and disposal of hazardous waste must be in compliance with all applicable regulations.

Equipment maintenance areas must be limited to a defined area of the site. All runoff containing any hazardous material must be properly collected and disposed. No engine degreasing shall be allowed on site.

The contractor is responsible for monitoring air pollution and ensuring it does not exceed levels set by local, state, or federal regulations. This includes dust created by work being performed on the site. Air pollution and dust control correction is considered incidental to the unit bid prices for which work is being performed. Additional dust control measures may be required by the Engineer.

Concrete washout onsite: All liquid waste generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. The liquid waste must not contact the ground, and there must not be runoff from the concrete washout operations or areas. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities. Protect storm sewers and drainage ways from allowing concrete slurry from concrete operations to discharge offsite.

INSPECTION AND MAINTENANCE:

The Permittees must routinely inspect the construction site once every seven (7) days during active construction.

All inspections performed during construction must be recorded and records retained with the SWPPP.

Contractor is responsible for keeping a record of all rainfall information & erosion control maintenance until final establishment of turf.

All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/2 of the height of the fence.

Erosion control, and other BMP's must be replaced, repaired, or supplemented when they reach 50% design load.

FINAL STABILIZATION:

The Permittees must ensure final stabilization of the site. The Permittees must submit a notice of termination within 30 days after final stabilization is complete or control has been passed to another owner.

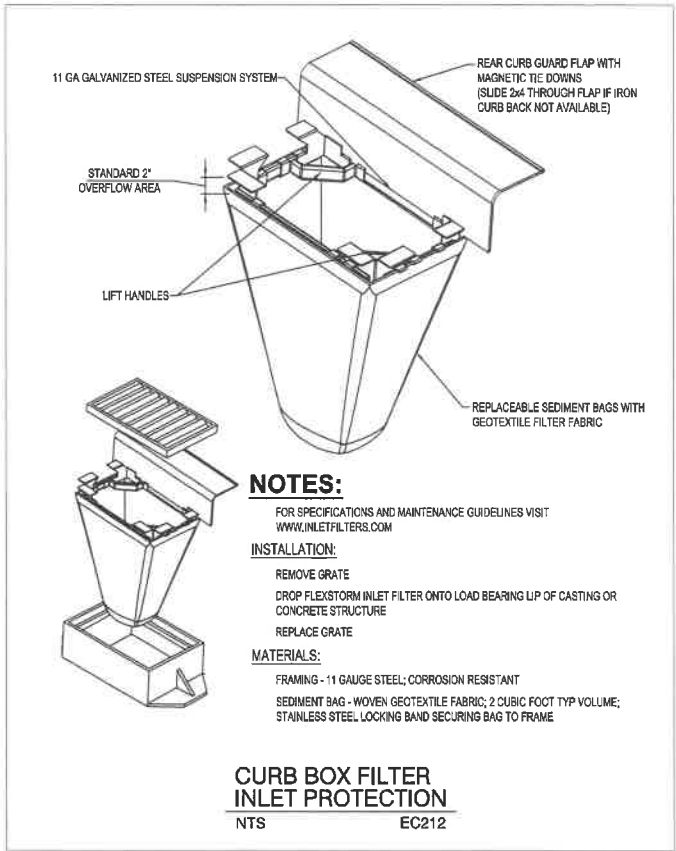
All temporary erosion control measures and BMP's must be removed as part of the final site stabilization.

The storm water permit further defines final stabilization and its requirements.

MAINTENANCE SCHEDULE

The following Maintenance Schedule has been provided. The INSPECTOR must perform the inspections. The OPERATOR/CONTRACTOR must perform all needed maintenance. Furthermore, all erosion control feature requiring maintenance may not be listed below. The OPERATOR/CONTRACTOR and INSPECTOR must perform their respective duties on all BMP's that are not listed below as well.

- Construction Entrance** - The entrance shall be maintained in a condition which will prevent tracking or flow of sediment onto public rights-of-way. This may require periodic top dressing with additional stone or the washing and reworking of existing stone as conditions demand and repair and/or cleanout of any structures used to trap sediment. All materials spilled, dropped, washed, or materials dropped, washed or tracked onto roadways will not be permitted under any circumstances.
- Wattles** - The maintenance measures are as follows: (2.1) wattles shall be inspected weekly; (2.2) close attention shall be paid to the repair of damaged bales, and runs and undercutting beneath bales; (2.3) necessary repairs to barriers or replacement of wattles shall be accomplished promptly; (2.4) sediment deposits shall be removed after each rainfall, they must be removed when the level of deposition reaches approximately one-half the height of the wattle; and (2.5) any sediment deposits remaining in place after the wattle is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Silt Fence** - The maintenance measures are as follows: (3.1) silt fences shall be inspected weekly, any required repairs shall be made immediately; (3.2) close attention shall be paid to the repair of damaged silt fence resulting from end runs and undercutting; (3.3) should the fabric on a silt fence decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly; (3.4) sediment deposits must be removed when the level of deposition reaches approximately one-half the height of the barrier, and (3.5) any sediment deposits remaining in place after the silt fence is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Storm Drain Inlet Protection** - The maintenance measures are as follows: (4.1) structures shall be inspected weekly and repairs made as necessary and (4.2) structures shall be removed and the area stabilized when the remaining drainage area has been properly stabilized.
- Temporary Seeding** - Areas which fail to establish vegetative cover adequate to prevent rill erosion will be re-seeded as soon as such areas are identified.
- Permanent Seeding** - The maintenance measures are as follows: (10.1) in general, a stand of vegetation cannot be determined to be fully established until it has been maintained for one full year after planning; (10.2) new seedlings shall be supplied with adequate moisture, supply water as needed, especially late in the season, in abnormally hot or dry conditions, or on adverse sites, water applications shall be controlled to prevent excessive runoff; (10.3) inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season, if possible; [10.3.a] if stand is inadequate for erosion control, over seed and fertilize using half of the rates originally specified; [10.3.b] if stand is 60% damaged, re-establish following seedbed and seeding recommendations; [10.3.c] if stand has less than 40% cover, re-evaluate choice of plant materials and quantities of lime and fertilizer, the soil must be tested to determine if acidity or nutrient imbalances are responsible, re-establish the stand following seedbed and seeding recommendations.
- Street Cleaning / Sweeping** - The maintenance measures are as follows: (13.1) evaluate access points daily for sediment tracking; (13.2) when tracked or spilled sediment is found on paved surfaces, it will be removed daily, during times of heavy track-out, such as during rains, cleaning may be done several times throughout the day; (13.3) all streets shall be swept at the end of each working day and prior to a rain event; (13.4) unknown spills or objects will not be mixed with the sediment; and (13.5) if sediment is mixed with other pollutants, it will be disposed of properly at an authorized landfill.



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PROJECT

ERIK'S BIKE SHOP

WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

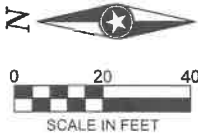
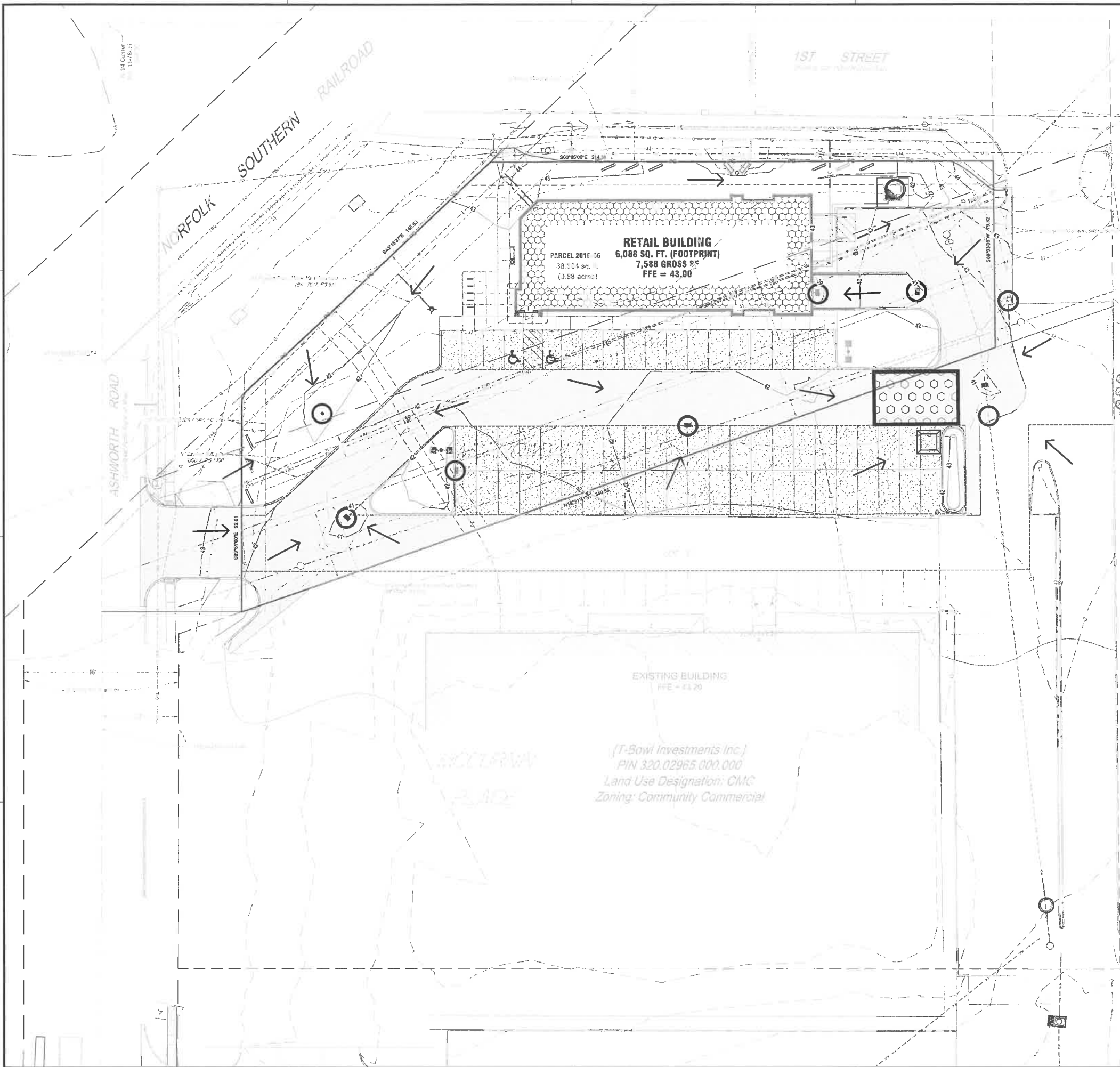
PROJECT NO.	19-23523
FILE NAME	24286 C1-SWPPP
DRAWN BY	ARA
DESIGNED BY	ARA/RJA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	04/23/20
CLIENT PROJECT NO.	

TITLE

EROSION & SEDIMENT CONTROL NOTES & DETAILS

SHEET

C1-10



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PROJECT

ERIK'S BIKE SHOP
WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/26/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	24286 C1-SWPPP
DRAWN BY	ARA
DESIGNED BY	ARA/RJA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	04/23/20

CLIENT PROJECT NO.

TITLE
**TEMPORARY
EROSION &
SEDIMENT
CONTROL PLAN**

SHEET

C1-20

EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION	UNITS	QUANTITY
	RANDOM RIPRAP, CLASS __	CY	
	PERIMETER CONTROL	LF	420
	EXISTING STORM DRAIN INLET PROTECTION	EACH	
	PROPOSED STORM DRAIN INLET PROTECTION	EACH	9
	STABILIZED CONSTRUCTION EXIT	EACH	1
	CONCRETE WASHOUT AREA	EA	1
	EXISTING DRAINAGE ARROW		
	PROPOSED DRAINAGE ARROW		
	EXISTING CONTOUR (MINOR INTERVAL)		
	EXISTING CONTOUR (MAJOR INTERVAL)		
	PROPOSED CONTOUR (MINOR INTERVAL)		
	PROPOSED CONTOUR (MAJOR INTERVAL)		

PERIMETER CONTROL CAN BE SILT FENCE, SEDIMENT CONTROL LOG, OR WOOD MULCH. QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.

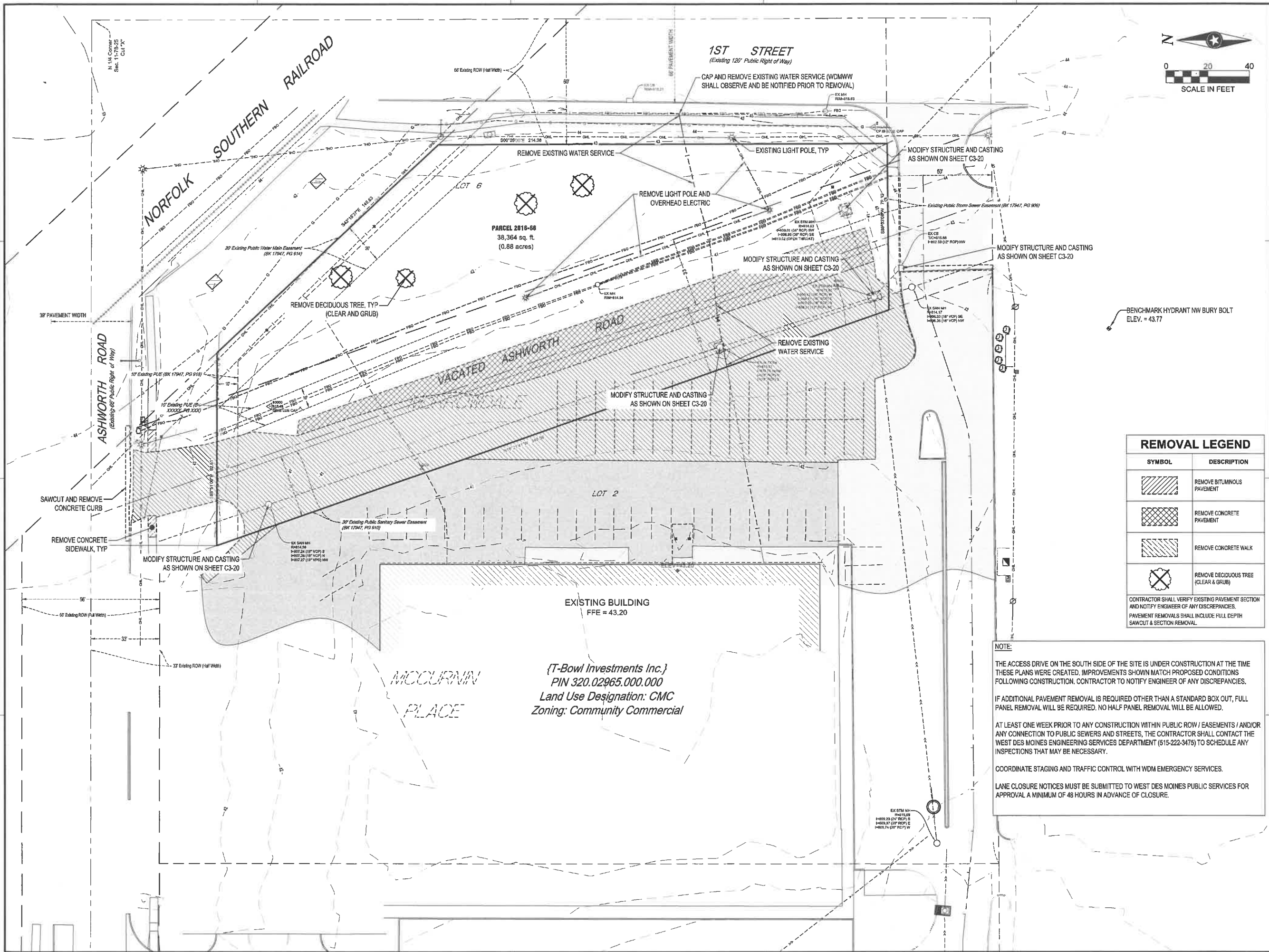
THE QUANTITIES SHOWN ARE TOTAL FOR THE ENTIRE PROJECT NOT SPECIFIC TO THIS SHEET.

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT

NOTE: SWPPP COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS SWPPP INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

SWPPP CONTACT

THE FOLLOWING INDIVIDUAL RESPONSIBLE FOR INSURING MUD AND ROCK ARE CLEANED OFF OF PUBLIC STREETS ON A DAILY BASIS, INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES, MAINTENANCE SCHEDULE LISTED ABOVE, AND IN CHARGE OF IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2 FOR "STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FOR CONSTRUCTION ACTIVITIES" FOR THE PROPOSED FACILITY.



REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE CONCRETE WALK
	REMOVE DECIDUOUS TREE (CLEAR & GRUB)
CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT & SECTION REMOVAL.	

NOTE:
THE ACCESS DRIVE ON THE SOUTH SIDE OF THE SITE IS UNDER CONSTRUCTION AT THE TIME THESE PLANS WERE CREATED. IMPROVEMENTS SHOWN MATCH PROPOSED CONDITIONS FOLLOWING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC ROW / EASEMENTS / AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES ENGINEERING SERVICES DEPARTMENT (515-222-3475) TO SCHEDULE ANY INSPECTIONS THAT MAY BE NECESSARY.
COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.

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PROJECT

ERIK'S BIKE SHOP

WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

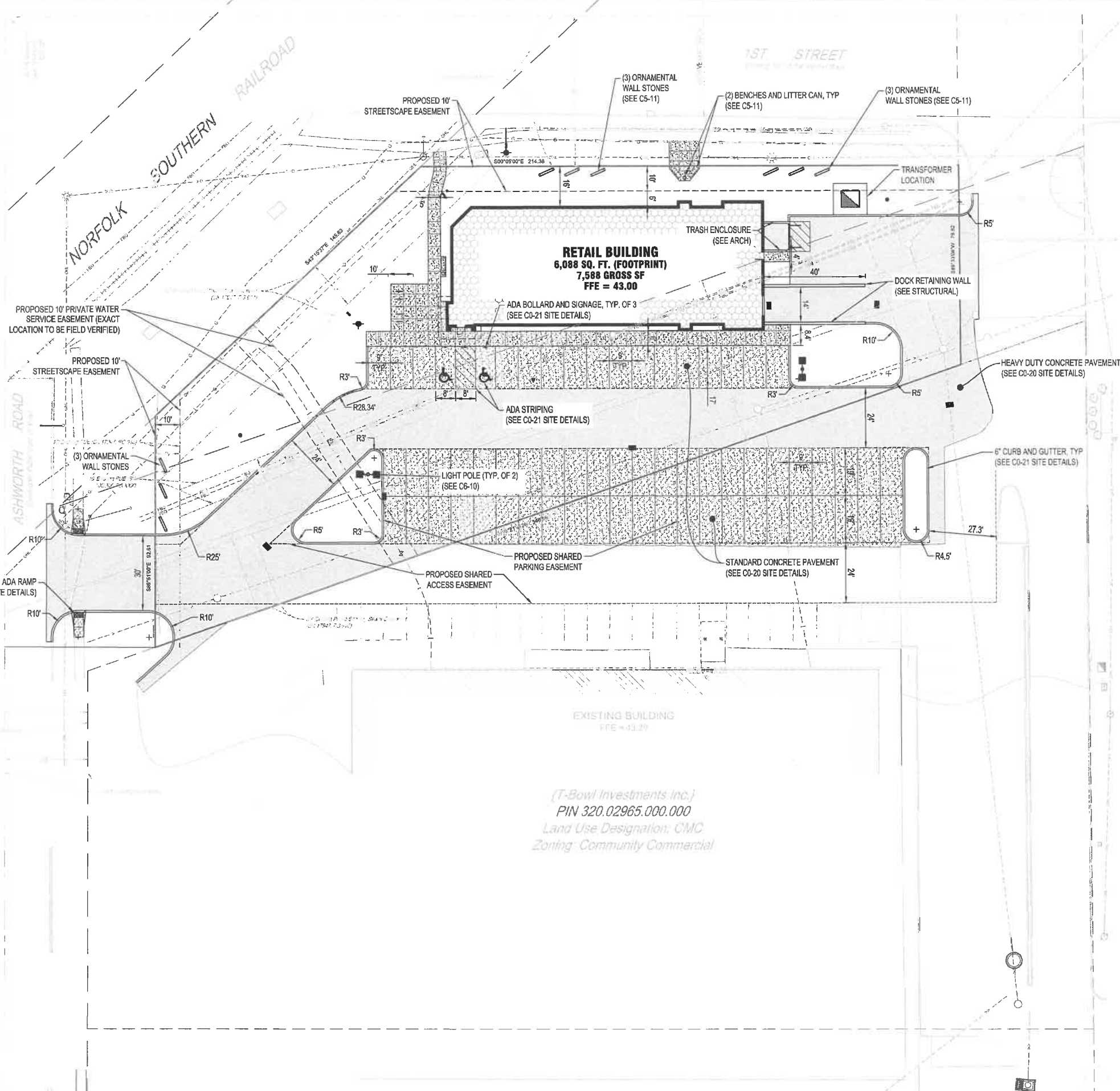
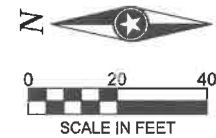
PROJECT NO.	20-24266
FILE NAME	24266 C2-EXISTING
DRAWN BY	ARA
DESIGNED BY	ARA
REVIEWED BY	RJADAJ
ORIGINAL ISSUE DATE	10/1/20
CLIENT PROJECT NO.	

TITLE

EXISTING SITE & REMOVAL PLAN

SHEET

C2-10



SITE SUMMARY

ZONING / EXISTING LAND USE:	CMC, COMMUNITY COMMERCIAL (PER CITY OF WEST DES MOINES COMPREHENSIVE PLAN)
EXISTING SITE/LOT AREA:	38,364 SQ. FT / 0.88 AC.
EXISTING IMPERVIOUS AREA:	14,147.5 SQ. FT / 0.325 AC. (37%)
EXISTING GREENSPACE:	24,216.5 SQ. FT / 0.555 AC. (63%)
ZONING / PROPOSED LAND USE:	PUD-ERIK'S BIKE SHOP, CMC, COMMUNITY COMMERCIAL (PER CITY OF WEST DES MOINES COMPREHENSIVE PLAN)
PROPOSED SITE/LOT AREA:	38,364 SQ. FT / 0.88 AC.
PROPOSED IMPERVIOUS AREA:	24,974.5 SQ. FT / 0.57 AC. (65%) (REQUIRED 75% MAXIMUM)
GREENSPACE PROVIDED:	13,389.5 SQ. FT / 0.31 AC. (35%) (REQUIRED 25% MINIMUM)

PARKING REQUIREMENTS (PER CITY CODE)

TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
9'X19' (17' IF GREEN SPACE ABUTS STALL)	3.5 SPACES / 1000 SF	22	30
TOTAL:			30

SETBACKS (ESTABLISHED WITH PUD)

	PARKING	BUILDING
FRONT YARD		
SIDE YARD		
REAR YARD		

PAVEMENT LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER (5')
	HEAVY DUTY CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER (8')
	TURNDOWN CONCRETE SIDEWALK (FRONT OF PARKING STALLS)
	CONCRETE SIDEWALK

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PROJECT

ERIK'S BIKE SHOP WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
08/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 20-24266

FILE NAME 24266 C3-SITE

DRAWN BY ARA

DESIGNED BY ARA

REVIEWED BY RJL/DAJ

ORIGINAL ISSUE DATE 11/11/20

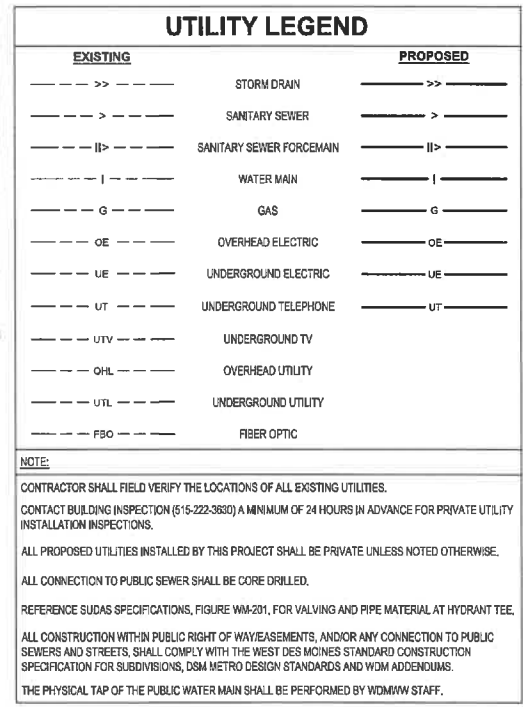
CLIENT PROJECT NO. -

TITLE

SITE PLAN

SHEET

C3-10

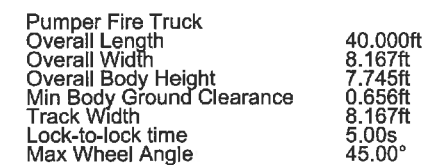


STORM DRAIN STRUCTURE SCHEDULE							
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (in)	STRUCTURE MATERIAL	CASTING	* TOP OF CASTING ELEVATION	INVERT ELEVATION	OUTLET PIPE
A-1	SW-501	36 x 24	RC	SW-804 TYPE 6	41.31	37.30	P-1
A-2	SW-501	36 x 24	RC	SW-603 TYPE R	41.15	38.20	P-2
A-3	SW-501	36 x 24	RC	SW-604 TYPE 6	40.82	38.46	P-3
A-4	INLINE DRAIN	12 Ø	RC	ROUND GRATE - G	41.77	38.61	P-4
A-5	SW-501	36 x 24	RC	SW-604 TYPE 6	40.87	35.83	P-5
A-6	SW-501	36 x 24	RC	SW-604 TYPE 6	38.75	36.36	P-6
A-8	INLINE DRAIN	12 Ø	RC	ROUND GRATE - G	41.76	38.61	P-7
A-9	SW-502	60 Ø	RC	SW-604 TYPE 6	40.88	35.88	EX ST-2

SANITARY SEWER PIPE SCHEDULE									
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE	MATERIAL	PIPE CLASS	PIPE GRADE	PIPE LENGTH (FT)
SP-1	CO-1	34.53		33.69	4"	PVC	SDR-35	2.00%	42
SP-2	BUILDING	34.96	CO-1	34.53	4"	PVC	SDR-35	2.00%	22

SHEET

*TOP OF CASTING ON CURB STYLE CATCH BASINS ARE GUTTER ELEVATION



PROPOSED HYDRANT

PROJECT

WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	20-24266
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FILE NAME	24266 C3-SITE
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DRAWN BY	ARA
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DESIGNED BY	ARA
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REVIEWED BY	RJA/DAJ
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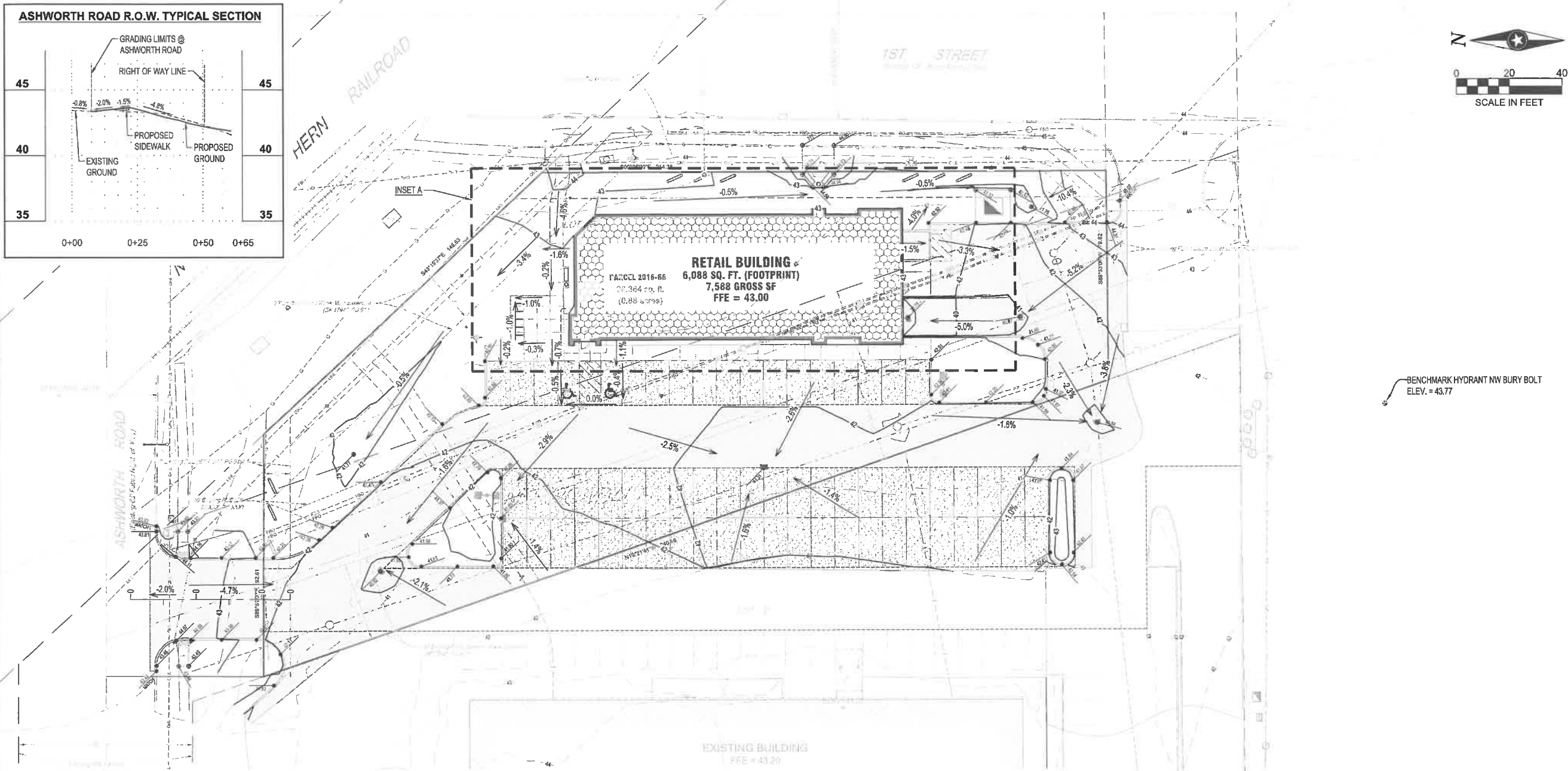
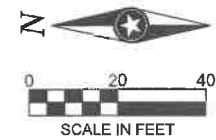
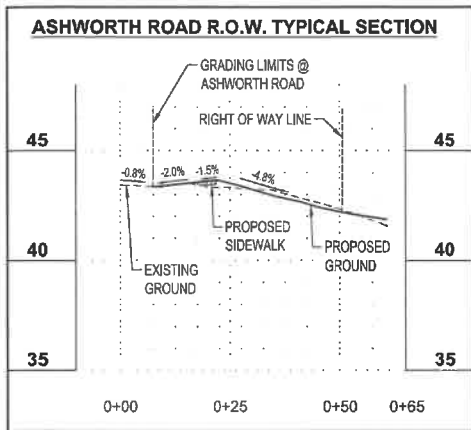
ORIGINAL ISSUE DATE -/-/

TITLE	
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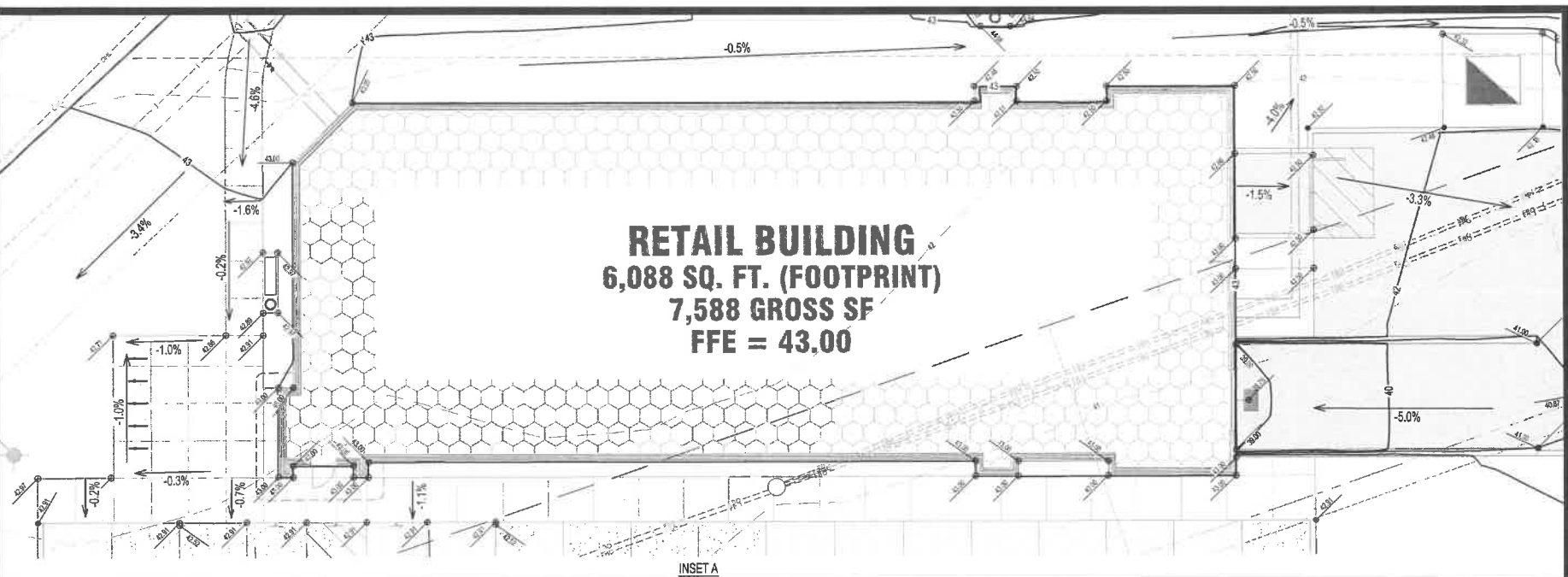
HYDRANT COVERAGE

SHEET

C3-21



BENCHMARK HYDRANT NW BURY BOLT
ELEV. = 43.77



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PROJECT

ERIK'S BIKE SHOP
WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

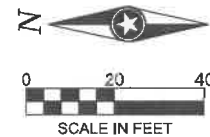
ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/09/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	20-24266
FILE NAME	24266 C4-GRADE
DRAWN BY	ARA
DESIGNED BY	ARA
REVIEWED BY	RJA/DAJ
ORIGINAL ISSUE DATE	11/11
CLIENT PROJECT NO.	-

TITLE

GRADING PLAN



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PROJECT

ERIK'S BIKE SHOP

WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

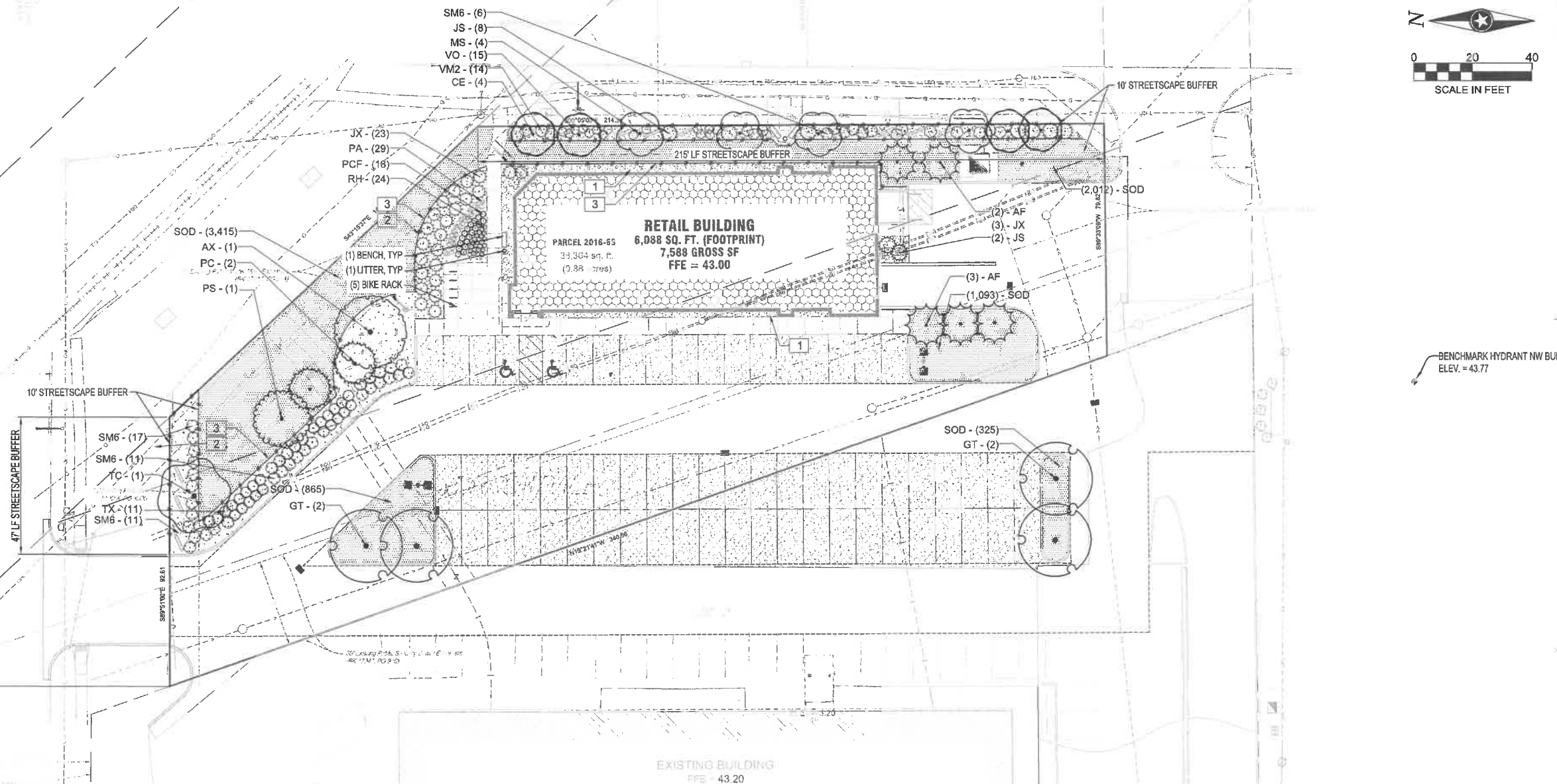
PROJECT NO.	20-24266
FILE NAME	24266 C5-LAND
DRAWN BY	TJW
DESIGNED BY	TJW/NSG
REVIEWED BY	NSG
ORIGINAL ISSUE DATE	10/7/20
CLIENT PROJECT NO.	-

TITLE

SITE RESTORATION & PLANTING PLAN

SHEET

C5-10



PLANT SCHEDULE

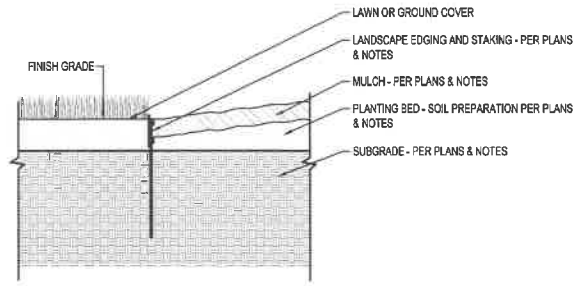
EVERGREEN TREES				EVERGREEN SHRUBS			
COMMON / BOTANICAL NAME	ROOT	SIZE		COMMON / BOTANICAL NAME	ROOT	SIZE	
AF	FRASER FIR	B & B	6' HT MIN	JS	SAVIN JUNIPER	5 GAL	24" MIN HT
PC	ABIES FRASERI	B & B	6' HT MIN	JX	JUNIPERUS SABINA	5 GAL	24" MIN HT
PS	BLACK HILLS SPRUCE	B & B	6' HT MIN	TX	SEA GREEN JUNIPER	5 GAL	24" MIN HT
	PICEA GLAUCA DENSATA	B & B	6' HT MIN		JUNIPERUS X PFITZERIANA 'SEA GREEN'	5 GAL	24" MIN HT
	WHITE PINE	B & B	6' HT MIN		DENSE YEW	5 GAL	24" MIN HT
	PINUS STROBUS	B & B	6' HT MIN		TAXUS X MEDIA	5 GAL	24" MIN HT
OVERSTORY TREES				GRASSES			
COMMON / BOTANICAL NAME	ROOT	SIZE		COMMON / BOTANICAL NAME	ROOT	SIZE	
AX	AUTUMN BLAZE MAPLE	B & B	8' HT MIN, :	PA	HAMELN FOUNTAIN GRASS	3 GAL	
GT	ACER X FREEMANII 'JEFFSRED' TM	B & B	8' HT MIN, :		PENNISSETUM ALOPECUROIDES 'HAMELN'	3 GAL	
TC	THORNLESS HONEYLOCUST	B & B	8' HT MIN, :	PERENNIALS			
	GLEDITSIA TRIACANTHOS INERMIS	B & B	8' HT MIN, :	COMMON / BOTANICAL NAME	ROOT	SIZE	
	LITTLELEAF LINDEN	B & B	8' HT MIN, :	PCF	PURPLE CONEFLOWER	3 GAL	
	TILIA CORDATA	B & B	8' HT MIN, :	RH	ECHINACEA PURPUREA	3 GAL	
UNDERSTORY TREE				GROUND COVERS			
COMMON / BOTANICAL NAME	ROOT	SIZE		COMMON / BOTANICAL NAME	SIZE		
CE	EASTERN REDBUD MULTI-TRUNK	B & B	6' MIN HT	SOD	BLUEGRASS SOD	SOD	
MS	CERCIS CANADENSIS	B & B	6' MIN HT				
	SPRING SNOW CRABAPPLE	B & B	6' MIN HT				
	MALUS X 'SPRING SNOW'	B & B	6' MIN HT				
DECIDUOUS SHRUBS							
COMMON / BOTANICAL NAME	ROOT	SIZE					
SM6	DWARF KOREAN LILAC	5 GAL	24" MIN HT				
VM2	SYRINGA MEYERI 'PALIBIN'	5 GAL	36" MIN HT				
VO	SOUTHERN ARROWWOOD	5 GAL	36" MIN HT				
	VIBURNUM DENTATUM 'BLUE MUFFIN'	5 GAL	24" MIN HT				
	DWARF EUROPEAN VIBURNUM	5 GAL	24" MIN HT				
	VIBURNUM OPULUS 'NANUM'	5 GAL	24" MIN HT				

LANDSCAPE REQUIREMENTS

LOCATION	TYPE	CODE	REQUIRED / PROVIDED
ENTIRE SITE	OPEN SPACE	2 TREES & 3 SHRUBS PER 3,000 SF OPEN SPACE. OF THE REQUIRED TREES, FIFTY PERCENT (50%) OF THE TREES MUST BE OF AN OVERSTORY OR EVERGREEN VARIETY UNLESS OTHERWISE DONE FOR DESIGN INTENT AND SPECIFICALLY APPROVED BY THE APPROPRIATE REVIEWING BODY.	7 TREES REQUIRED / 7 TREES PROVIDED 4/7 OR 57% ARE EVERGREEN OR OVERSTORY 21 SHRUBS REQUIRED / 75 SHRUBS PROVIDED
ENTIRE SITE	OFF STREET PARKING ISLANDS	TWO (2) TREES IN EACH NINE FOOT BY THIRTY FOUR FOOT (9' x 34') ISLAND. VEGETATION REQUIRED IN OFF STREET PARKING AREAS SHALL BE IN ADDITION TO OPEN SPACE LANDSCAPE REQUIREMENT, HOWEVER, OPEN SPACE LANDSCAPING MAY BE PLACED WITHIN OFF STREET PARKING AREAS.	REFER TO PLAN, LANDSCAPE ISLANDS HAVE BEEN LANDSCAPED PER CODE WHEN POSSIBLE, UNLESS UTILITY CONFLICT OCCURS.
ENTIRE SITE	PLANTING VARIETY	AT LEAST THIRTY FIVE PERCENT (35%) OF TREES REQUIRED ON SITE (SUM OF OPEN SPACE, BUFFER, PARKING LOT TREES REQUIRED) SHALL BE EVERGREEN SPECIES TO ENSURE YEAR ROUND VISUAL INTEREST AND AID IN THE EFFECTIVENESS OF SCREENING	11 TREES PLANTED 15 X .35 = 4 REQUIRED EVERGREEN/ 4 EVERGREEN PROVIDED
STREETSCAPE PLANTING	STREETSCAPE ALONG 1ST STREET	STREETSCAPE PLANTINGS WITHIN THE 10' STREETSCAPE AREA, ACCORDING TO THE ERIK'S BIKES PUB, A MINIMUM OF TWO (2) TREES AND TEN (10) SHRUBS SHALL BE REQUIRED FOR EVERY FIFTY (50) LINEAR FEET OF STREETSCAPE DISTANCE. OF THE REQUIRED NUMBER OF TREES, A MINIMUM OF ONE-HALF (1/2) MUST BE OVERSTORY IN NATURE	215 LF OF STREETSCAPE ALONG 1ST STREET 8.6 TREES REQUIRED / 9 TREES PROVIDED 43 SHRUBS REQUIRED / 43 PROVIDED
STREETSCAPE PLANTING	STREETSCAPE ALONG ASHWORTH	STREETSCAPE PLANTINGS WITHIN THE 10' STREETSCAPE AREA, ACCORDING TO THE ERIK'S BIKES PUB, A MINIMUM OF TWO (2) TREES AND TEN (10) SHRUBS SHALL BE REQUIRED FOR EVERY FIFTY (50) LINEAR FEET OF STREETSCAPE DISTANCE. OF THE REQUIRED NUMBER OF TREES, A MINIMUM OF ONE-HALF (1/2) MUST BE OVERSTORY IN NATURE	60 LF OF STREETSCAPE ALONG ASHWORTH 1 TREES REQUIRED / 1 TREES PROVIDED 10 SHRUBS REQUIRED / 10 PROVIDED

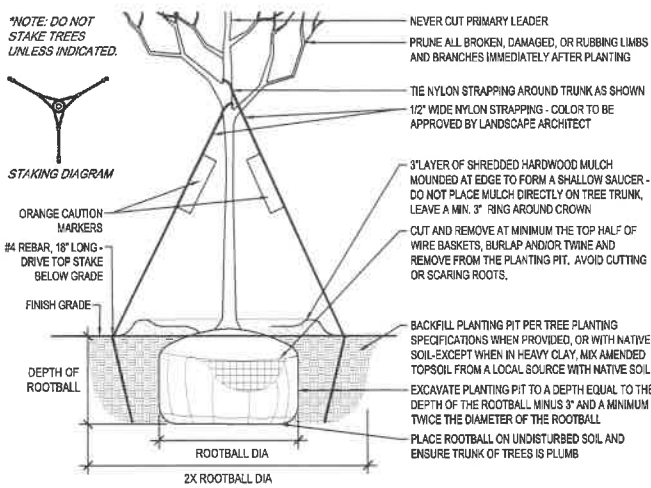
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	2" CLEAN RIVER ROCK	832 SF
2	3" THICK SHREDDED OAK MULCH	22.51 CY
3	POLY EDGING / COLOR : BLACK	325 LF



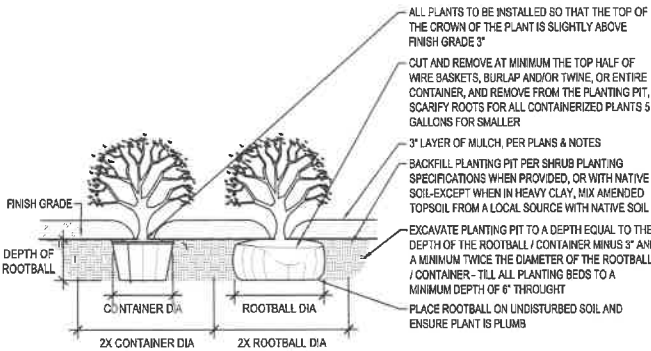
LANDSCAPE EDGING DETAIL

SCALE: 1" = 1'-0"



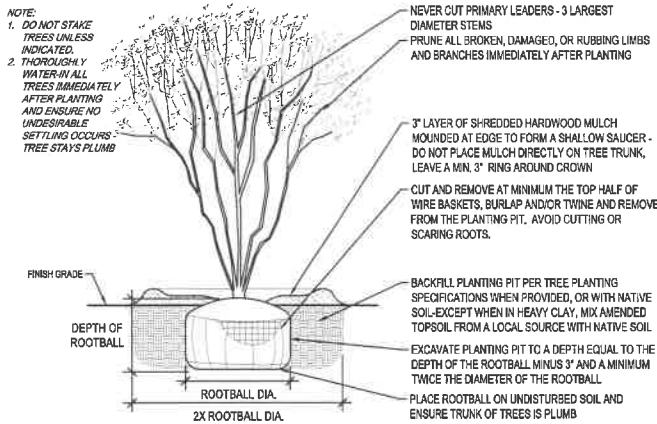
DECIDUOUS TREE PLANTING DETAIL

SCALE: 1" = 1'-0"



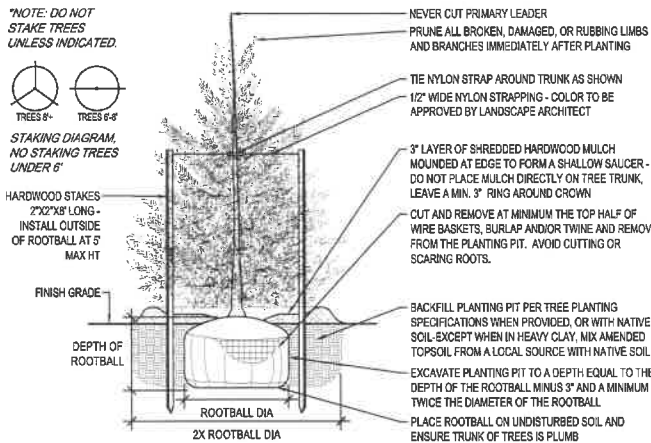
SHRUB PLANTING DETAIL

SCALE: 1" = 1'-0"



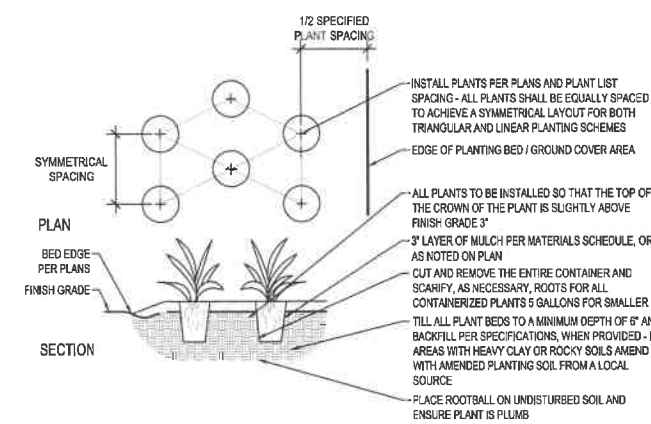
MULTI STEM PLANTING DETAIL

SCALE: 1" = 1'-0"



CONIFER / EVERGREEN TREE PLANTING DETAIL

SCALE: 1" = 1'-0"



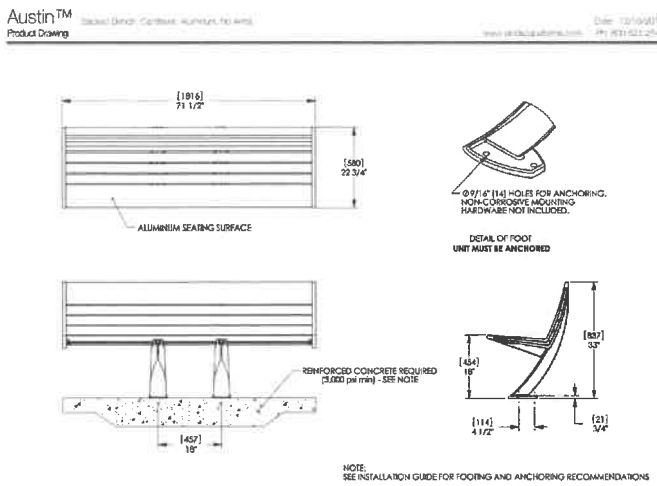
PERENNIAL PLANTING DETAIL

SCALE: 1" = 1'-0"

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- LAWN AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL.
- REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES. ALL TREES SHALL HAVE A STRONG CENTRAL LEADER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING BED EDGING - USE 3/4" x 6" PROFESSIONAL GRADE POLY EDGING, COLOR BLACK IN ALL AREAS WHERE PLANTING BED MEETS LAWN AREAS OR WHERE INDICATED. USE 12" METAL SPIKES AS INSTRUCTED BY MANUFACTURER.
- PROVIDE SHREDDED HARDWOOD MULCH, NATURAL COLOR, SURROUNDING ALL PROPOSED TREES TO A 3-INCH MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. IF LOCATED WITHIN A ROCK MULCHED PLANT BED, SUBSTITUTE THIS MULCH WITH THE MULCH CALLED FOR WITHIN THAT PLANT BED. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- PROVIDE 2" CLEAN RIVER ROCK MULCH IN ALL PLANTING TO A 2" MINIMUM DEPTH. USE A PROFESSIONAL GRADE NON - WOVEN WATER PERMEABLE LANDSCAPE FABRIC UNDERLAYMENT. DO NOT USE PLASTIC SHEETING. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED IF NOT INDICATED ON PLANS AS ANOTHER SURFACE. SOD SECTIONS SHALL BE NO SMALLER THAN 24" X 36" STAKED IN PLACE WITH BIODEGRADABLE SOD STAKES WHEN SLOPE IS STEEPER THAN 5:1 OR WHEN CONDITIONS REQUIRE. ALSO STAKE AT STORMWATER BASIN ON SLOPES AND BOTTOM TO PREVENT MOVEMENT.
- FOR PLANT, SHRUB, AND TREE LOCATIONS: CONTRACTOR IS PERMITTED TO USE DISCRETION AS NECESSARY TO AVOID DRIVEWAYS, UTILITIES, OR OTHER CONFLICTS. THE TOTAL NUMBER OF PLANTS, INCLUDING SHRUBS AND TREES SHALL MEET CITY CODE.
- INDICATED QUANTITIES ARE ESTIMATES AND SHOULD BE CONFIRMED BY THE CONTRACTOR/BIDDER.
- IRRIGATION WATER METER TO BE INSTALLED BY PLUMBING CONTRACTOR.
- IN PLANTING BOX - USE PROFESSIONAL GRADE POTTING SOIL. PLANT WITH 2"+ HT. FLOWERING ANNUALS AS INSTRUCTED BY OWNER. MIX VERTICAL AND CASCADING VARIETIES.

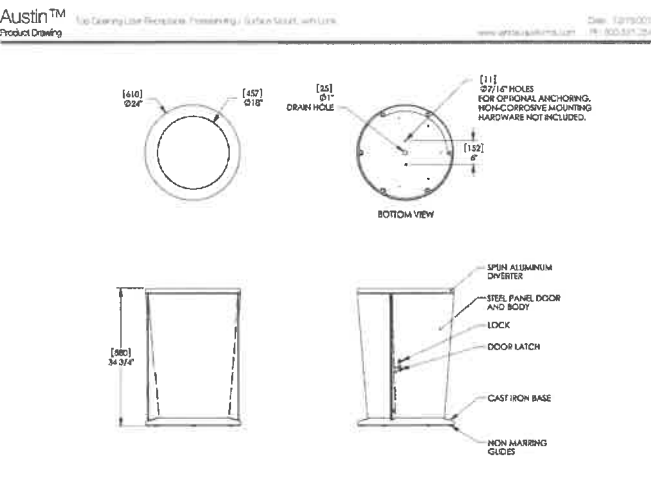
CITY OF WEST DES MOINES CODE (24-35)

- TREES SHALL NOT BE PLANTED IN ANY SPACE WITH LESS THAN FIVE FEET (5') CLEARANCE IN ANY DIRECTION WITH THE EXCEPTION OF TREES PLANTED IN TREE WELLS IN PAVED AREAS AND SPECIFICALLY DESIGNED FOR SUCH A PURPOSE. TREES SHALL NOT BE PLANTED WITHIN SIX FEET (6') TO THE BACK OF CURB OF ANY VEHICLE TRAVEL LANE OR FOUR FEET (4') TO ANY PAVE AREA, INCLUDING SIDEWALKS AND TRAILS.
- DECIDUOUS OVERSTORY TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF TWO INCHES (2") MEASURED SIX INCHES (6") ABOVE THE ROOT COLLAR AND SHALL HAVE A MINIMUM FIVE FEET (5') OF CLEAR TRUNK.
- DECIDUOUS UNDERSTORY TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF ONE AND ONE HALF INCHES (1-1/2") MEASURED AT SIX INCHES (6") ABOVE THE ROOT COLLAR AND SHALL HAVE A MINIMUM THREE AND ONE HALF FOOT (3-1/2') CLEAR TRUNK.
- EVERGREEN TREES SHALL BE INSTALLED AT A MINIMUM HEIGHT OF SIX FEET (6')
- DECIDUOUS SHRUBS THAT REACH A MATURE HEIGHT OF GREATER THAN FIVE FEET (5') SHALL BE INSTALLED AT A MINIMUM OF THREE FEET (3') IN HEIGHT.
- DECIDUOUS SHRUBS THAT REACH A MATURE HEIGHT BETWEEN THREE (3') AND FIVE FEET (5') SHALL BE INSTALLED AT A MINIMUM OF TWO FEET (2') IN HEIGHT.
- DECIDUOUS SHRUBS LESS THAN THREE FEET (3') SHALL BE INSTALLED AT A MINIMUM OF FIFTEEN INCHES (15") IN HEIGHT.
- EVERGREEN SHRUBS SHALL BE INSTALLED AT A MINIMUM TWO FEET (2') IN HEIGHT.
- VIEWS OF OFF STREET PARKING AREAS FROM PUBLIC RIGHTS OF WAY SHALL BE SCREENED TO A HEIGHT OF AT LEAST THREE FEET (3'). SCREENING SHALL BE AS NEAR TO ONE HUNDRED PERCENT (100%) OPACITY AS POSSIBLE WITH CAREFUL ATTENTION PAID TO ELIMINATE "THROUGH VIEWS" UNDER TREE CANOPIES.
- DECIDUOUS TREES SHALL HAVE A RING OF MULCH UP TO A DISTANCE OF TWENTY FOUR INCHES (24") BEYOND THE TRUNK. EVERGREEN TREES SHALL HAVE A RING OF MULCH UP TO A DISTANCE OF TWELVE INCHES (12") BEYOND THE WIDEST SPREADING BRANCHES. SHRUBS SHALL HAVE A RING OF MULCH UP TO A DISTANCE OF EIGHT INCHES (8") BEYOND THE WIDEST SPREADING BRANCHES.
- EACH TYPE OF VEGETATION REQUIRED SHALL BE COMPRISED OF A MINIMUM OF THREE (3) VARIETIES TO LIMIT THE SPREAD OF DISEASE OR INSECTS AND PREVENT THE LOSS OF A TOTAL VEGETATION TYPE.



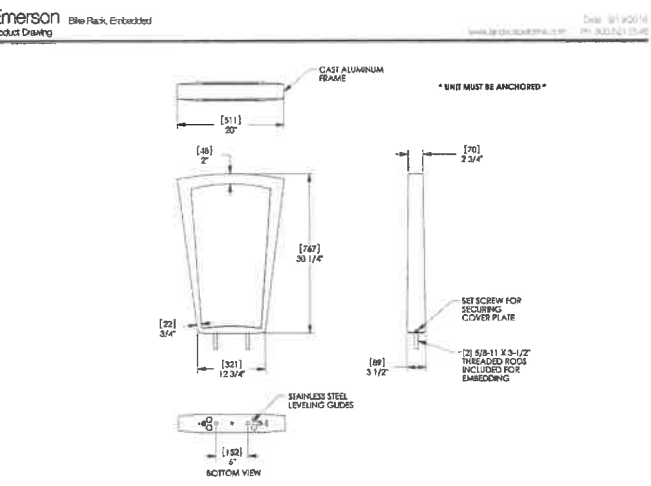
SURFACE MOUNTED BENCH DETAIL

NTS



SURFACE MOUNTED LITTER CAN DETAIL

NTS



SURFACE MOUNTED BIKE RACK DETAIL

NTS

ERIK'S BIKE SHOP WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
08/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
08/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

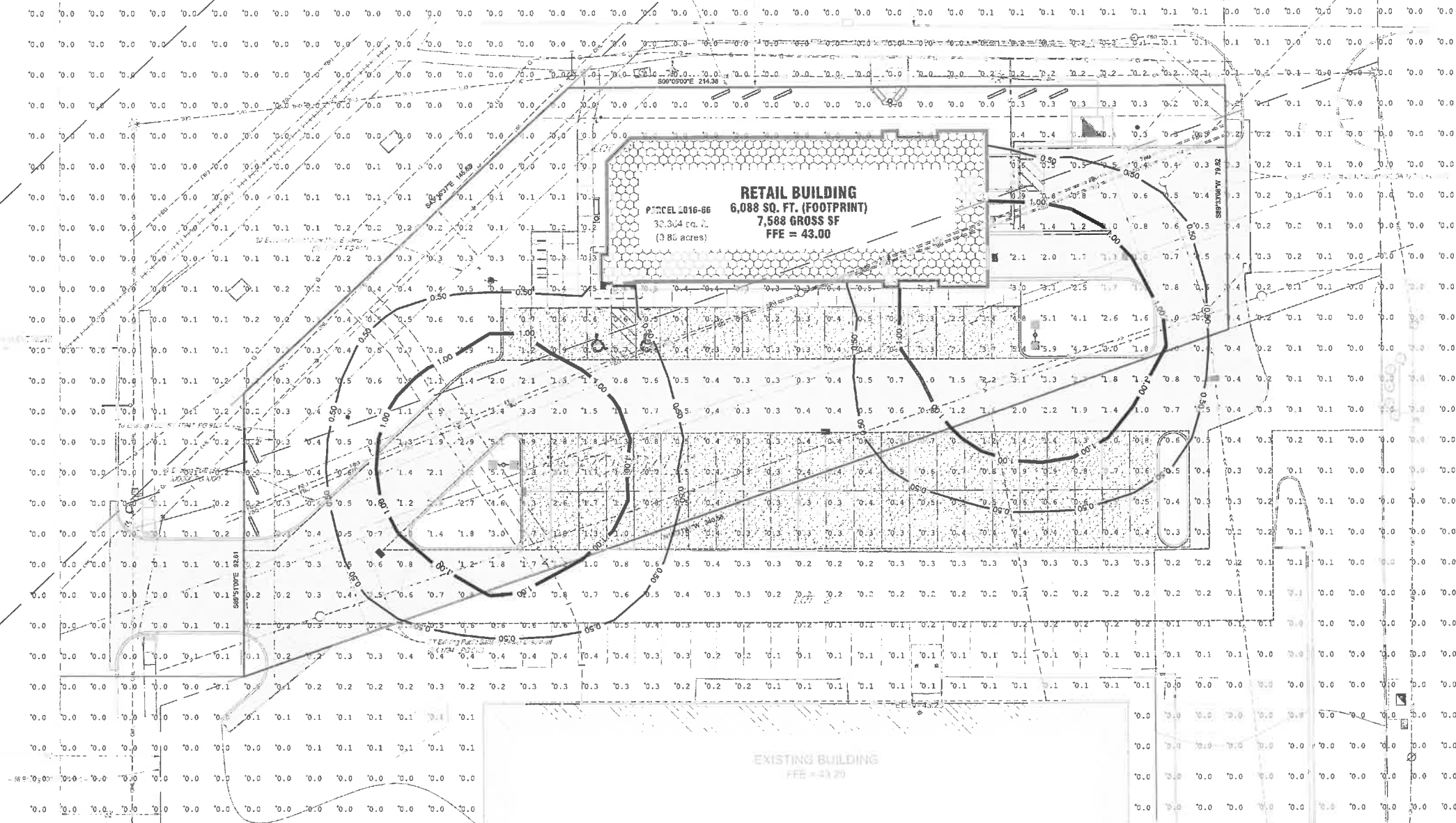
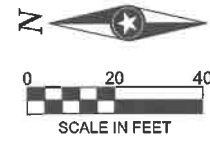
PROJECT NO.	20-24266
FILE NAME	24266 C5-LAND
DRAWN BY	TJW
DESIGNED BY	TJW/NSG
REVIEWED BY	NSG
ORIGINAL ISSUE DATE	10/1/20
CLIENT PROJECT NO.	

TITLE

PLANTING NOTES & DETAILS

SHEET

C5-11



BENCHMARK HYDRANT NW BURY BOLT
ELEV. = 43.77

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PROJECT

ERIK'S BIKE SHOP WEST DES MOINES

WEST DES MOINES (SP-004852-2020) IOWA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
07/28/20	CITY SITE PLAN SUBMITTAL #1	ARA
09/08/20	CITY SITE PLAN SUBMITTAL #2	ARA
09/24/20	CITY SITE PLAN SUBMITTAL #3	ARA
10/07/20	CITY SITE PLAN SUBMITTAL #4	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	20-24266
FILE NAME	24266 C6-LIGHTING
DRAWN BY	ARA
DESIGNED BY	ARA
REVIEWED BY	RLJ/DAJ
ORIGINAL ISSUE DATE	10/7/20
CLIENT PROJECT NO.	-

PHOTOMETRIC PLAN

SHEET
C6-10

RESOLUTION NO. PZC-20-068

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE
CITY OF WEST DES MOINES, IOWA, RECOMMENDING TO THE CITY COUNCIL THAT
IT APPROVE THE ERIK'S BIKE SHOP SITE PLAN (SP-004852-2020)**

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, EBS Iowa Property, L.C.C., has requested approval of a site plan to allow the construction of an approximately 7,500 square foot retail bike store for that property located at 950 1st Street; and

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, on October 12, 2020, this Commission held a duly-noticed meeting to consider the Erik's Bike Shop Site Plan (SP-004852-2020).

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated October 12, 2020, or as amended orally at the Plan and Zoning Commission meeting of October 12, 2020, are adopted.

SECTION 2. SITE PLAN PERMIT (SP-004852-2020) to allow construction of an approximately 7,500 square foot retail bike store is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated October 12, 2020, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on October 12, 2020.

Erica Andersen, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on October 12, 2020, by the following vote:

AYES:
NAYS:
ABSTENTIONS:
ABSENT:

ATTEST:

Recording Secretary

Exhibit A:
Conditions of Approval

1. The applicant shall submit signed water main easement documents to West Des Moines Water Works prior to City Council approval of the site plan.